

City of Bainbridge

Decatur County

Not located in a MSA.

2003 Population Estimate 11,823; -0.8% change from 2000 Census.

Tree City USA for 16 years.

Bainbridge Tree Committee with 5 members; monthly meetings required by ordinance.

STANDARDS AND SPECIFICATION MANUAL ORDINANCE TO PROVIDE FOR THE CREATION OF THE BAINBRIDGE TREE COMMITTEE

First adopted 1990. No revisions.

Addresses public property and private property.

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Tree Removal Application and Application Specifications

Application for Tree Trimming/Pruning and Application Specifications

For more information, contact:

Bryan Barnett

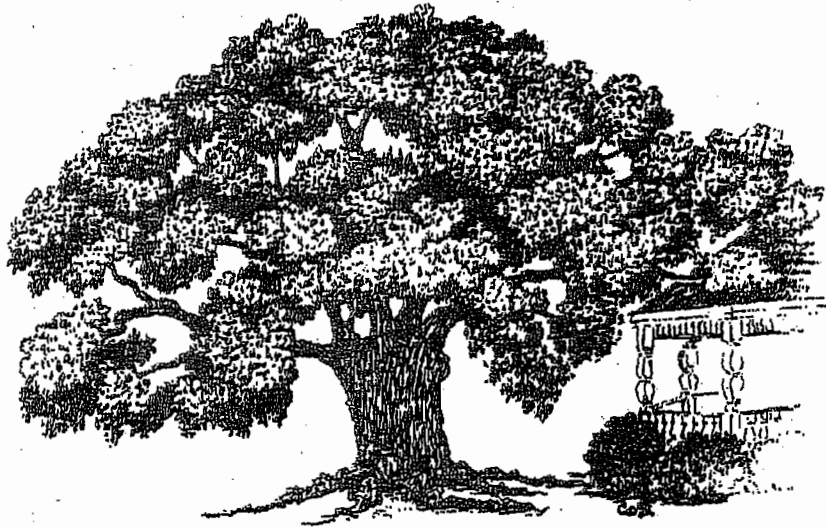
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CITY OF BAINBRIDGE

TREE ORDINANCE



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CITY OF BAINBRIDGE, GEORGIA

STANDARDS AND SPECIFICATION MANUAL
ORDINANCE TO PROVIDE FOR THE CREATION OF THE
BAINBRIDGE TREE COMMITTEE

- SECTION I
- These standards and specifications are applicable to all public utilities, and all public and private agencies or groups. The purpose of these standards is to facilitate the protection and/or construction process within the City of Bainbridge.
- POLICY: The policy of the City Tree Committee shall be one of cooperation with the public and private property owners, city departments, public utilities and appropriate non-profit organizations at all times.
- GOAL: To maintain and or re-establish the canopy cover in the City of Bainbridge and implement:
- 1) Improved control of soil erosion;
 - 2) Moderation of storm water runoff, and improved water quality;
 - 3) Interception of airborne particulate matter, and the reduction of some air pollutants;
 - 4) Enhanced habitat for desirable wildlife;
 - 5) Reduction of noise and glare;
 - 6) Climate moderation;
 - 7) Aesthetics, scenic amenity;
 - 8) Increased property value.

SECTION II AUTHORITY AND APPLICABILITY

- A. Standards for tree protection and replacement are established under the authority of the City of Bainbridge Tree Preservation Ordinance, Number 483, of the Code of the City of Bainbridge, Georgia.
- B. Terms and provisions of the Tree Preservation Ordinance, and the Standards and Specification Manual established herein, shall apply to any real property which requires the issuance of a building or soil erosion and sedimentation control permit within the City limits, but excluding activities listed in Section 14, Exemptions, of the Tree Preservation Ordinance.

SECTION III

DEFINITIONS

All words in these standards have their customary dictionary definition except as specifically defined herein. The words "shall" and "must" are mandatory, and the words "may" and "should" are permissive.

1. Buildable Area: That portion of a lot which is not located within any minimum required yard, landscape area or buffer; that portion of a lot wherein a building may be located according to current zoning requirements.
2. Building or Soil Erosion Control Permit: Official authorization issued by the City of Bainbridge allowing defoliation or alteration of a site, a change which may result in soil erosion or alteration of site vegetative cover, or the commencement of any construction activities.
3. City Tree Committee: The City Tree Committee of Bainbridge, Georgia, or its designee.
4. Cover Area: That area which falls within the drip line of any tree.
5. Developed Property: Property upon which a building, structure, pavement, or other improvements have been placed.
6. Drip Line or Crown Drip Line: A vertical line extending from the outermost portion of a tree canopy or a tree's branch tips down to the ground.
7. Tree Protection and Replacement Plan: A plan indicating tree protection measures and the location, size, quantity and species of replacement trees.
8. Park: All publicly maintained parks having individual names.
9. Planting Strip: That part of a public street or highway, not covered by sidewalk or other paving, lying between the property line of adjoining property and that portion of the street or highway used or intended to be used for vehicular traffic.

10. Protected Zone: All lands that fall outside the buildable area of a parcel, all areas of a parcel required to remain in open space, and/or all areas required as yard areas, buffers or landscaped areas according to provisions of the City of Bainbridge Zoning Ordinance or by conditions of zoning and variance approval, and/or these standards and procedures guidelines.
11. Public: The term "public", when used as a modifier for such words as building, park, right-of-way, and similar words, shall mean "government-owned" or "government-operated".
12. Public Places: All grounds other than parks which are owned by the City of Bainbridge, Georgia.
13. Public Tree: Any tree which exists on publicly owned or controlled property or right-of-way.
14. Revegetation: The replacement of trees and landscape plant materials into the minimum required landscape areas and areas of open space, as determined by the City of Bainbridge Zoning Ordinance and these administrative guidelines.
15. Landmark Tree or Landmark Tree Stand: Any tree or group of trees within the protected zone which has been determined to be of high value because of its species, size, age or other definable criteria and so designated by the City Tree Committee. General criteria for the determination of specimen trees or stands of trees are provided in Section 6.
16. DBH - Diameter-at-Breast-Height is a standard measure of tree size, and is a tree trunk diameter measured in inches at a height of 4 1/2 feet above the ground. If a tree splits into multiple trunks below 4 1/2 feet, then the trunk is measured at its most narrow point beneath the split.
17. Tree: Any self supporting woody plant, usually having a single woody trunk and a diameter of 6 inches or more when measured at a point 6 inches above ground level and which normally attains an overall height of at least 10 feet at maturity, usually with one (1) main stem or trunk and many branches.
18. Undeveloped Property: Property upon which no building, structure, pavement or other improvements have been placed.
19. Density: The quantity or number of trees per unit of area.

20. Yard Area: An open space on the same lot with a building, the space being unoccupied and unobstructed from the ground upward, with the exception of trees and natural vegetation. Zoning Ordinance: The zoning ordinance and land use and development regulations adopted for use within the City of Bainbridge, Georgia.

SECTION IV.

PROCEDURES.

A. Building Permits and Soil Erosion and Sedimentation Control Permits:

1. A tree protection and replacement plan shall be submitted with other permit drawings as part of the Building Permit and Soil Erosion and Sedimentation Control Permit process. This plan shall include the following information. A sample plan is illustrated in Figure 1.

a) Definition of spatial limits.

- (1) Limits of land disturbance, clearing, grading, and trenching.
- (2) Tree protection zones
- (3) Landmark trees or stands of trees.
- (4) Areas of revegetation.

b) Detail drawings of tree protection measures (where Applicable)

- (1) Protective tree fencing.
- (2) Erosion control
- (3) Tree protection signs.
- (4) Transplanting specifications.
- (5) Tree wells, and aeration systems.
- (6) Staking specifications.
- (7) Other applicable drawings.

c) Procedures and schedules for the implementation, installation, and maintenance of tree protection measures.

2. These plans shall be reviewed by the City Tree Committee for conformance with the Tree Preservation Ordinance, and these Standards and Procedures guidelines. Reasons for correction and/or denial shall be noted on the tree protection plan, or otherwise stated in writing.

3. The City Tree Committee will conduct a preliminary on-site analysis of all projects prior to permitting to evaluate the potential for tree protection in terms of the proposed site design.
4. No Landmark tree or stand of trees shall be removed or damaged without the express written consent of the City Tree Committee. Approval of the tree protection plan indicating those Landmark trees to be removed shall constitute this written consent.
5. Issuance of the building or soil erosion control permit, is contingent upon approval of the tree protection plan.
6. All tree protection measures shall be installed prior to land disturbance, and the City Tree Committee shall be contracted for a pre-construction conference prior to land disturbance.
7. The City Tree Committee, or its Designated Representative shall conduct follow-up site inspections and final inspections for enforcement of the City Tree Ordinance and its Standards and Procedures guidelines.

B. Tree Replacement:

1. The replacement of trees shall occur in the minimum required yard areas of protected zones, as determined by the zoning ordinance or by conditions of zoning or variance approval, or in other areas of the site:
 - a) To establish the minimum tree density requirement.
 - b) Where grading occurs outside the buildable area of the lot.
 - c) If the lot's buildable area leaves no protected zone.
 - d) If no trees are present within an existing protected zone.
 - e) Where Landmark trees or stands of trees within the buildable portion of the lot are to be removed.
 - f) Where Landmark trees or stands of trees, and trees within otherwise designated tree protective zones have been irreparably damaged or removed through land disturbance or construction activities.

2. Required buffer strips must be planted where sparsely vegetated or disturbed so as to provide a 100 percent visual barrier within two years of planting. Planting shall consist of one evergreen row of plant material for every 10 feet of buffer width, and spaced at 10 foot centers. Disturbances to buffer strips and buffer plant materials are subject to City Tree Committee approval.
3. The spacing of replacement trees must be compatible with site spatial limitations, and with responsible considerations towards potential species size.
4. Where the City Tree Committee has determined that site spatial constraints result in an absolute inability to provide tree density, as many trees as possible must be planted on site, the remaining balance of required trees must be provided for planting on public properties. Tree bank arrangements will be made through the City Tree Committee.
5. Species selected for replacement must be ecologically compatible with the specifically intended growing site.
6. Landmark trees and stands of trees must be replaced by species with potentials for comparable size and quality. Tree replacement in addition to the minimum site tree density may be required in recompense for the removal of Landmark trees.
7. Species selection and replacement densities are subject to City Tree Committee approval.
8. When deemed necessary by the City Tree Committee, the owner/developer of a project shall be required to furnish a bond or other financial security to insure the installation of required plant materials or survival of protected trees for the duration of a required maintenance period. The bond amount shall be equal to or greater than 115 percent of the total required tree planting budget, including materials and labor.

SECTION V.

METHODS OF TREE PROTECTION.

- A. Planning Considerations. Tree space is the most critical factor in tree protection throughout the development process. The root system of trees can easily extend beyond the dripline of tree canopy. (Figure 2.) The root system within the dripline region is generally considered to be the critical root zone. Disturbance within this zone can directly affect a tree's chances for survival.

To protect these critical root zones, the following standards shall apply:

1. The use of tree save islands and stands is encouraged rather than the protection of individual (non-landmark) trees scattered throughout a site. This will facilitate ease in overall site organization as related to tree protection.
2. The protective zone of Landmark trees or stands of trees or otherwise designated tree save areas shall include no less than the total area beneath the tree(s) canopy as defined by the farthest canopy dripline of the tree(s). In some instances, the City Tree Committee may require a protective zone in excess of the area defined by the tree's dripline.
3. Layout of the project site utility and grading plans should accommodate the required tree protective zones. Utilities must be placed along corridors between tree protective zones.
4. Construction site activities such as parking, material storage, concrete washout, burnhole placement, etc., shall be arranged so as to prevent disturbances within tree protective zones.
5. No disturbance shall occur within the protective zone of Landmark trees or stands of trees without prior approval by the City Tree Committee.

B. Protective Barriers.

1. Active protective tree fencing shall be installed along the outer edge of and completely surrounding the critical root zones of all Landmark trees or stands of trees, or otherwise designated tree protective zones, prior to any land disturbance. (see Figure 2, Page 17)
2. These fences will be a minimum 4 feet high, constructed in a post and rail configuration. A 2 inch x 4 inch post and a double 1 inch x 4 inch rail is recommended. Four foot orange polyethelene laminar safety fencing is also acceptable. Figure 3.
3. Where approved, passive forms of tree protection may be utilized to delineate tree save areas which are remote from areas of land disturbance. These areas must be completely surrounded with continuous rope or flagging (heavy mill. minimum 4" wide). All passive tree protection must be accompanied by "Keep Out" or "Tree Save" signage. Figure 4.
4. All tree protection zones should be designated as such with "tree save area" signs posted visibly on all sides of the fenced in area. These signs are intended to inform subcontractors of the tree protection process. Signs requesting subcontractor cooperation and compliance with tree protection standards are recommended for site entrances.
5. All Landmark trees or stands of trees, or otherwise designated tree protective zones must be protected from the sedimentation of erosion material.
 - a) Silt screening must be placed along the outer uphill edge of tree protective zones at the land disturbance interface.
 - b) Silt screening should be backed by 12 gauge 2 inch x 4 inch wire mesh fencing in areas of steep slope.

C. Encroachment. Most trees can tolerate only a small percentage of critical root zone loss. If encroachment is anticipated within the critical root zones of Landmark trees, stands of trees, or otherwise designated tree protective zones, the following preventive measures shall be employed.

1. Clearing activities: Roots often fuse and tangle amongst trees. The removal of trees adjacent to tree save areas can cause inadvertent damage to the protected trees. Wherever possible, it is advisable to cut minimum 2 foot trenches (e.g., with a "ditch-witch") along the limits of land disturbance, so as to cut, rather than tear, roots. Trenching may be required for the protection of Landmark trees.
2. Soil compaction: Where compaction might occur due to traffic or materials storage, the tree protective zone must first be mulched with a minimum 4 inch layer of processed pine bark or wood chips, or a 6 inch layer of pine straw.
3. Trenching: The installation of utilities through a protective zone should occur by way of tunneling rather than trenching. Figures 5 and 6.
4. Grade changes: Moderate fill can be tolerated within a tree's critical root zone with the prior installation of an aeration system. Aeration system specifications are provided in Figures 7 and 8. Commercially available aeration systems are subject to approval by the City Tree Committee. A decrease in grade is best accomplished with the use of retaining walls or through terracing. Figure 9.
5. Where the City Tree Committee has determined that irreparable damage has occurred to trees within tree protective zones, the trees must be removed and replaced.

SECTION VI

GENERAL CRITERIA FOR THE DETERMINATION OF LANDMARK TREES OR STANDS OF TREES

A. LANDMARK TREE:

1. Any tree in fair or better condition which equals or exceeds the following diameter sizes.
 - a) Large hardwoods, e.g. oaks, hickories, yellow poplars, sweetgums, etc., 30" dbh.
 - b) Large softwoods, e.g. pines, deodar cedars, etc., 30" dbh.
 - c) Small trees, e.g. dogwoods, redbuds, sourwoods, etc., 12" dbh.

2. A tree in fair or better condition must meet the following minimum standards.
 - a) A life expectancy of 15 years or longer.
 - b) A relatively sound and solid trunk with no extensive decay or hollow, and less than 20 percent radial trunk dieback.
 - c) No more than one major and several minor dead limbs (hardwood only).
 - d) No major insect or pathological problem.
3. A lesser sized tree can be considered a landmark if it is a rare or unusual species, of exceptional quality, or of historical significance.
4. A lesser size tree can be considered a landmark if it is specifically used by a builder, developer, or design professional as a focal point in a project of landscape.

B. Landmark tree stands: A contiguous grouping of trees which has been determined to of high value. Determination is based upon the following criteria:

1. A relatively mature even aged stand.
2. A stand with purity of species composition of a rare or unusual nature.
3. A stand of historical significance.
4. A stand with exceptional aesthetic quality.

SECTION VII

UTILITY COMPANY REQUIREMENTS

All utility companies shall be required to obtain an annual permit issued by the City Building Official. All applications for an annual permit shall include a list of sub-contractors with names, addresses and City business license numbers.

1. Periodic work schedules are to be submitted to the City Building Official showing the proposed location and extent of tree work to be performed.
2. All work to be performed on trees growing on or over the public rights-of-way shall be done according to the methods described below:
 - a) No topping, dehorning or removal of trees shall be permitted except by express permission of the City Tree Committee or its Representative
 - b) All cuts shall be made with a saw or pruner and only at nodes or crotches. No stubs shall be left. No spurs or climbing irons shall be used in the trees, except with trees that are to be completely removed.
 - c) All tools being used on a tree suspected of infection with a contagious disease shall be disinfected before being used on another tree.
 - d) Stumps of trees removed in improved areas will be ground to at least 3 inches below the ground, and soil shall be replaced and leveled.

SECTION VIII

FEEES

Tree Preservation Ordinance permit and inspection fees are as follows

1. Project area - up to 4 acres	\$100.
Re-Inspection when final inspection has failed:	50.
2. Project area - over 4 to 9 acres	200.
Re-Inspection when final inspection has failed	75.
3. Project area - over 9 to 14 acres	300.
Re-Inspection when final inspection has failed	100.
4. Project area - over 14 acres	400.
Re-Inspection when final inspection has failed	125.

SECTION IX

VIOLATIONS OF PROVISION, REMOVAL OR DESTRUCTION
OF TREES

- A. It shall be unlawful for any persons to violate the provision of this manual. The removal or destruction of each tree shall constitute a separate offense under this section.
- B. Any tree or trees designated in the Site Development Plan to be preserved that is destroyed during construction; said tree or trees shall be replaced within sixty (60) days of written notice to said applicant and property owner. Failure to comply within sixty (60) days shall subject said party, upon conviction, to a minimum fine of \$50.00. Each day the party is in violation after the sixty (60) day notice required herein shall constitute a separate and distinct offense.
- C. The tree committee shall have the authority to immediately issue a temporary revocation of permits in any of the following circumstances:
 - 1. When clearing or other development of land is being implemented without an approved permit;
 - 2. Upon the failure of the permittee, or failure by the property owner if no permit exists, to take immediate corrective action when there is an apparent danger to life or property;
 - 3. Whenever ongoing non-complying work is not immediately and permanently stopped upon receipt of a written or oral Notice of Violation;
 - 4. Whenever tree protection measures have not been implemented or maintained and danger to protected trees exist or appears imminent, or any tree or trees designated in the site development plan to be preserved that is destroyed during construction;
 - 5. Whenever remedial work required by notice of violation is not completed in the time period specified;
 - 6. Upon failure to post a placard indicating existence of an approved permit; or
 - 7. Upon failure to have the approved permit and plans available on site.

D. CONTENTS AND SCOPE

The temporary revocation shall specify the circumstances which have resulted in issuance of the order. It shall also direct that all work be stopped other than such remedial work as is deemed necessary to bring the project into compliance.

SECTION X.

GENERAL GUIDELINES FOR REPLACEMENT OF TREES

The applicant, at the discretion of the City Tree Committee, may be required to replace any tree being removed with a suitable replacement tree elsewhere on site. To determine if the replacement is reasonable the City Tree Committee shall consider intended use of:

1. Existing tree coverage, size and type.
2. Number of trees to be removed on the entire property.
3. Area to be covered with structures, parking and driveway.
4. Grading plan, and drainage requirements.
5. Character of the site and its environs.
6. No site will be allowed to receive occupancy permit or use permit until tree canopy has been established.
7. Sites completely void of trees will still be required to establish a tree canopy as set down in Section IV B.
8. Existing sites which do not meet the canopy requirement will have five (5) years from the acceptance of this article to comply with the requirements of the Tree Committee or its Representative.

SECTION XI.

CHECKLIST FOR TREE PROTECTION/TREE PLANTING
REVIEW

A. Tree Protection

A tree protection/tree planting plan shall be submitted as a separate drawing to include the following

- a. All tree protection zones, and areas of revegetation.
- b. Approximate location of all Landmark trees or stands of trees.
- c. Exact location of all Landmark trees to be removed. Removal of Landmark trees is subject to City Tree Committee approval
- d. Indicate those Landmark trees to be removed. Removal of Landmark trees is subject to City Tree Committee approval.
- e. Limits of clearing and land disturbance such as grading, trenching, etc. where these disturbances may affect protection zones.
- f. Proposed location of underground utilities.
- g. Methods of tree protection shall be indicated for all tree protection zones, including tree fencing, erosion control, retaining walls, tunneling for utilities, aeration systems, transplanting, staking, signage, etc.
- h. Indicate staging areas for parking, material storage, concrete washout, and debris burn and burial holes where these areas might affect tree protraction,
- i. The required site tree density factor must be satisfied. Compliance shall be demonstrated on the tree protection plan. Existing trees or stands of trees used in the density calculation must be indicated on the drawing.
- j. The use of flowering ornamental replacement trees may not be used in density calculation.
- k. Replacement trees used in density calculations must be ecologically compatible with the intended growing site.
- l. The final parking area will have not less than one (1) shade tree for each ten (10) parking spaces.

B. Landscaping

1. Indicate the location of all proposed trees.
2. Include planting schedules with proposed tree names (botanical and common) and any special planting notes.
3. Provide planting and staking details.

C. Notes

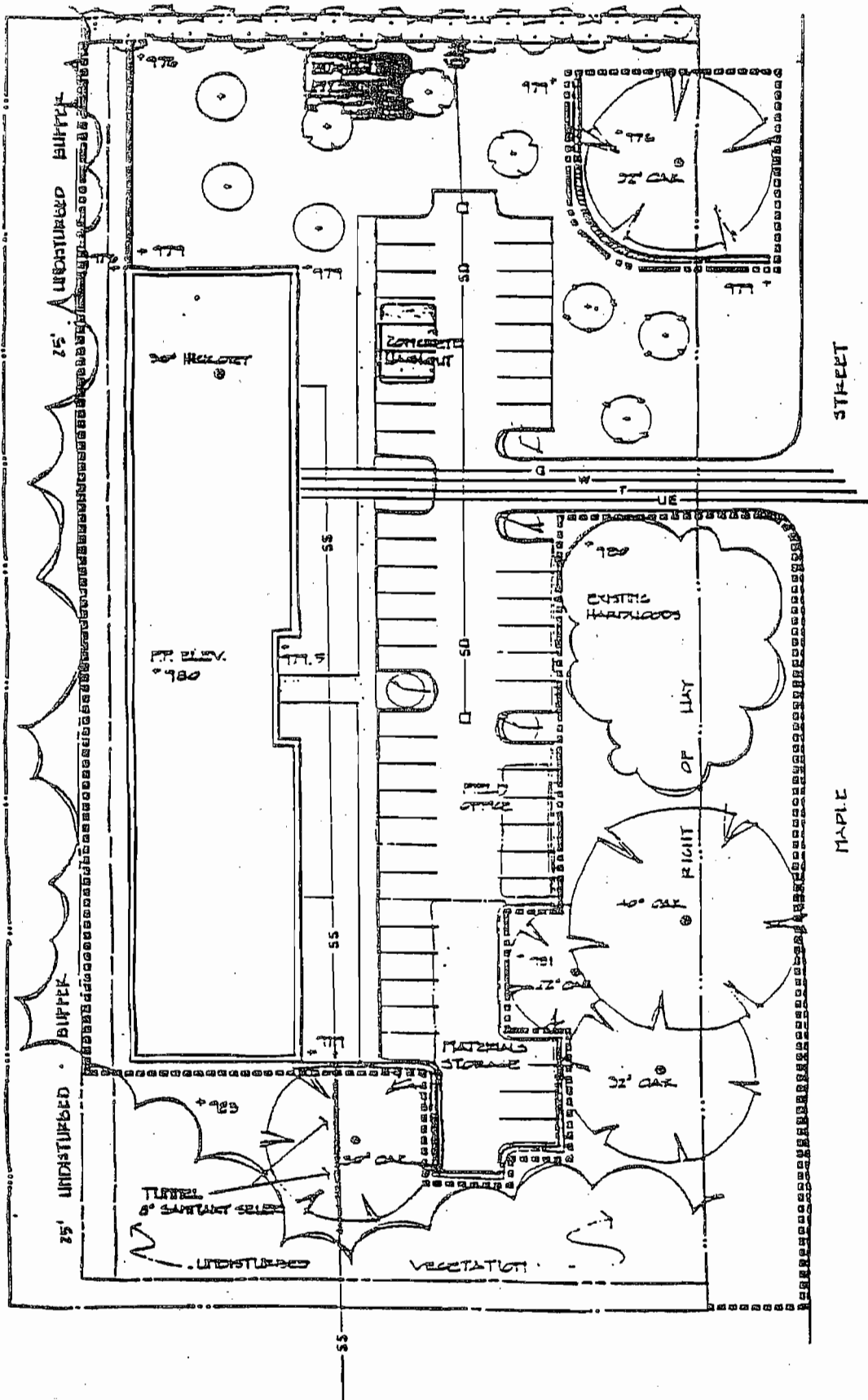
1. The following notes shall be indicated on both tree protection plans and grading plans in large letters.
 - a. Contact the City Building Department at 248-2000 to arrange a Pre-Construction Conference with the City Tree Committee or its Representative prior to any land disturbance.
 - b. All tree protection measures shall be installed prior to grading.

SECTION XI.

OVERSIZE BUILDING MOVING PERMITS

The City Tree Committee or its Representative shall review and approve all applications for oversize building moving permits before the City will grant the permit.

APPENDIX 1



PLANT LIST

SPECIES	SIZE	QUANT.	COMMENTS
VIRGINIA PINE PINUS VIRGINIANA	4' HT.	22	DOO
WILLOW OAK QUERCUS PHELLOS	6' DIA.	4	SPACE
PIN OAK QUERCUS PALUSTRIS	6' DIA.	9	SPACE
WHITE OAK QUERCUS ALBA	5' DIA.	3	SPACE
SCARLET OAK QUERCUS COCAINEA	6' DIA.	3	SPACE

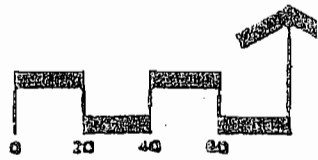
LEGEND

- TREE FENCING
- FENCING BY EXISTING CONTRACTOR
- RETAINING WALL
- TUNNEL
- G— GAS
- UE— UNDERGROUND ELECTRIC
- W— WATER
- T— TELEPHONE
- SS— SANITARY SEWER
- SD— STORM DRAINAGE
- ⊙ REMOVED TREE
- ⊙ EXISTING TREE
- PROPERTY LINE
- BUILDING SETBACK LINE

NOTES

SAMPLE TREE PROTECTION PLAN

FIGURE 1



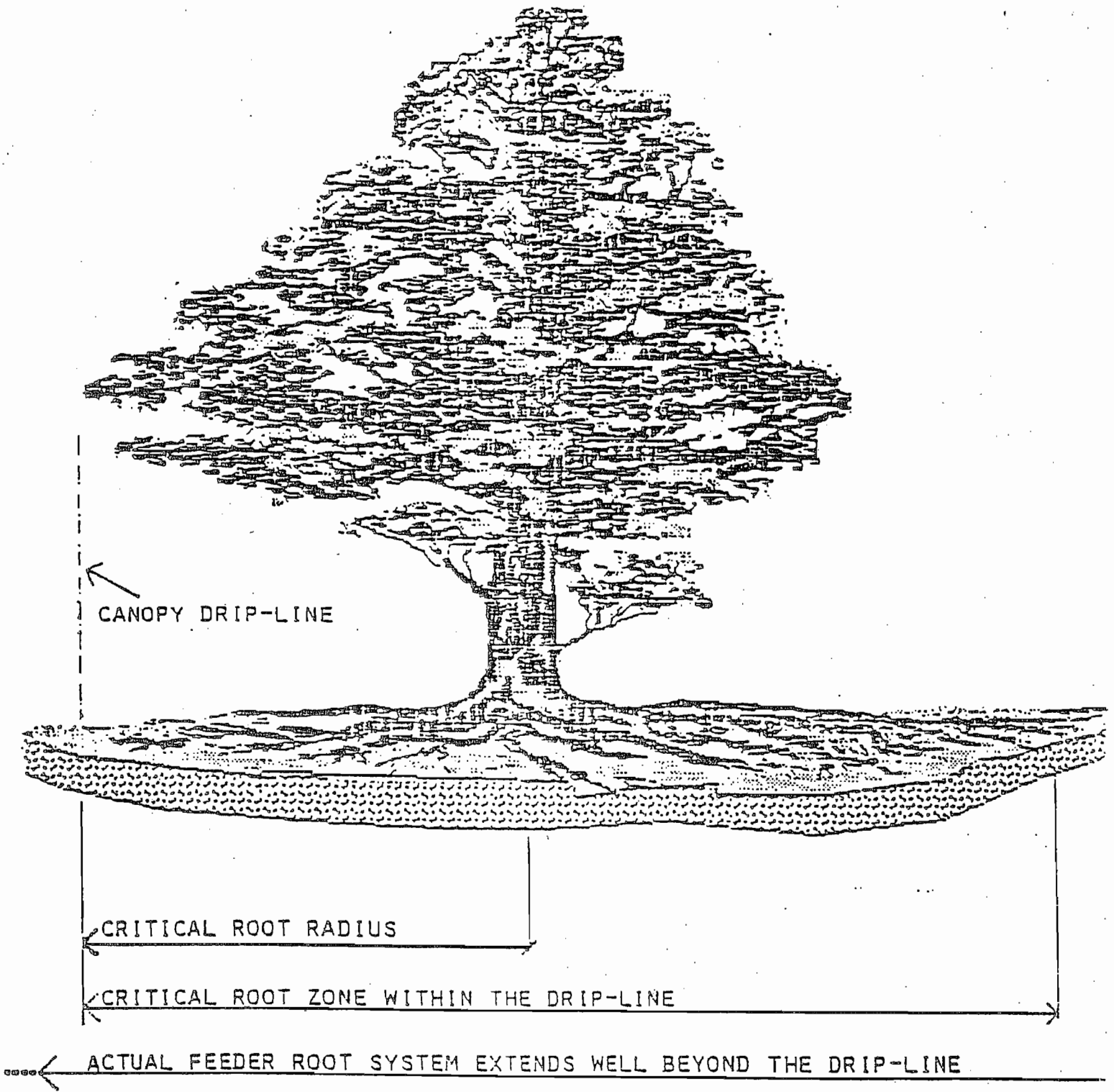


FIGURE 2 TYPICAL CRITICAL ROOT ZONE

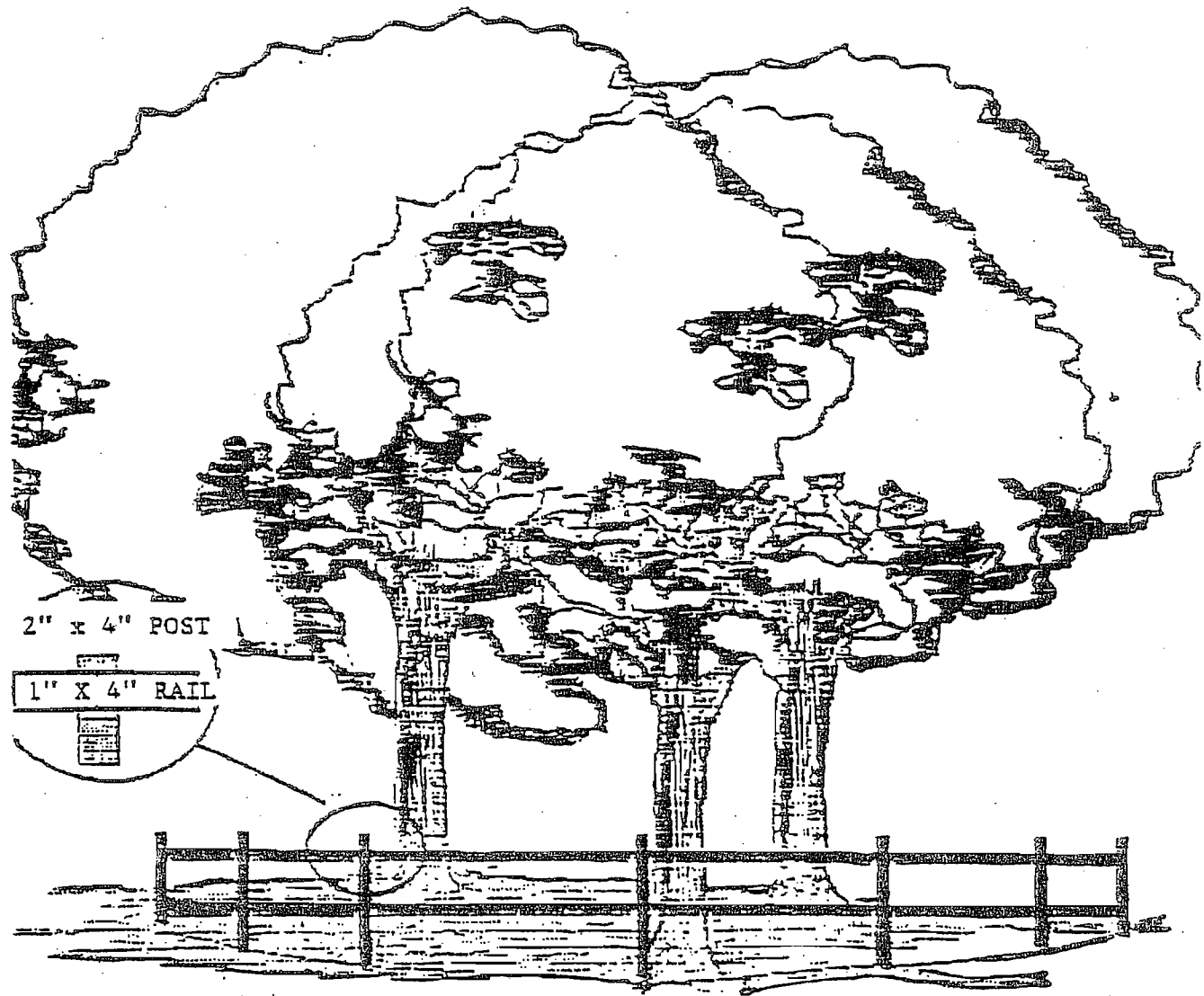
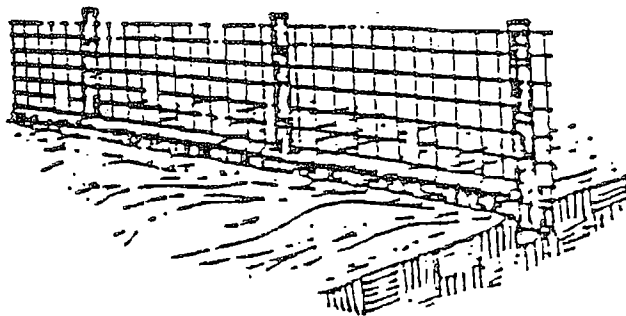


FIGURE 3 ACTIVE PROTECTIVE TREE FENCING.



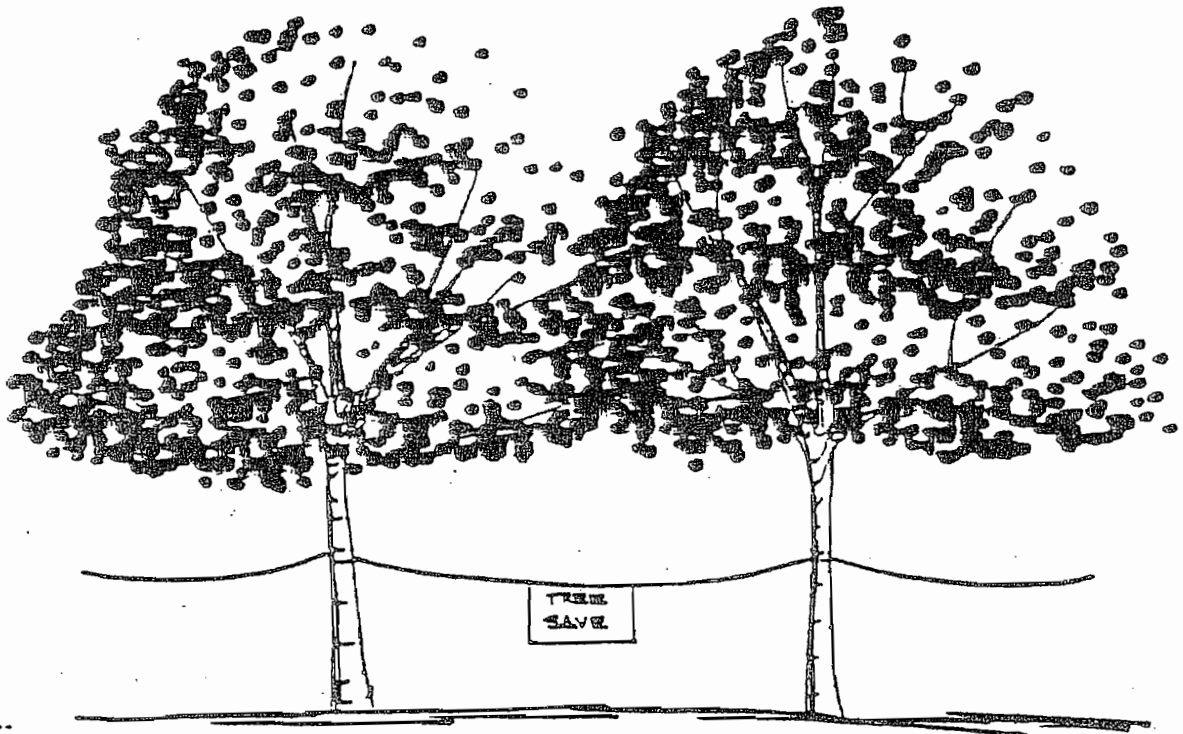
ALTERNATIVE TREE FENCING

4' HIGH, ORANGE,
POLYETHYLENE LAMINAR
SAFETY NETTING.

MINIMUM 4", HEAVY MILL. PLASTIC, DARK LETTERING ON BRIGHT BACKGROUND

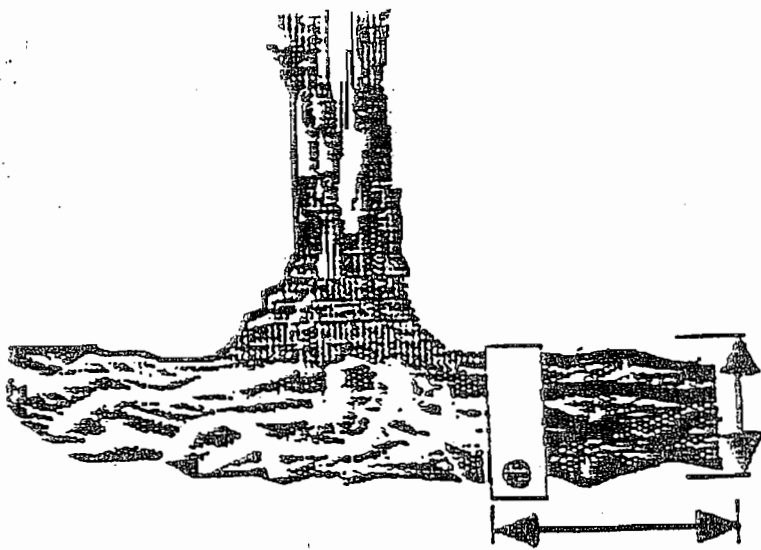
TREE PROTECTION AREA
CAUTION DO NOT ENTER

CONTINUOUS

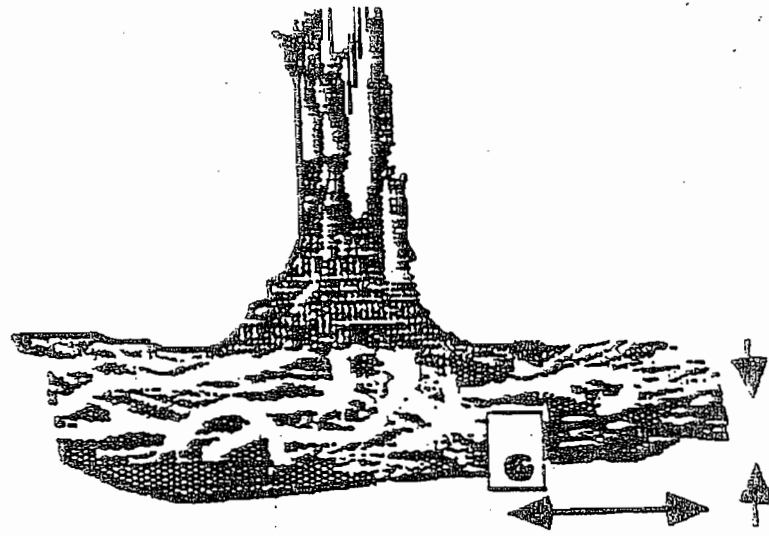


PASSIVE PROTECTION WITH ROPE AND SIGNAGE

FIGURE 4 PASSIVE PROTECTION DETAIL



DAMAGED ROOT AREA



TRENCHING

TUNNELING

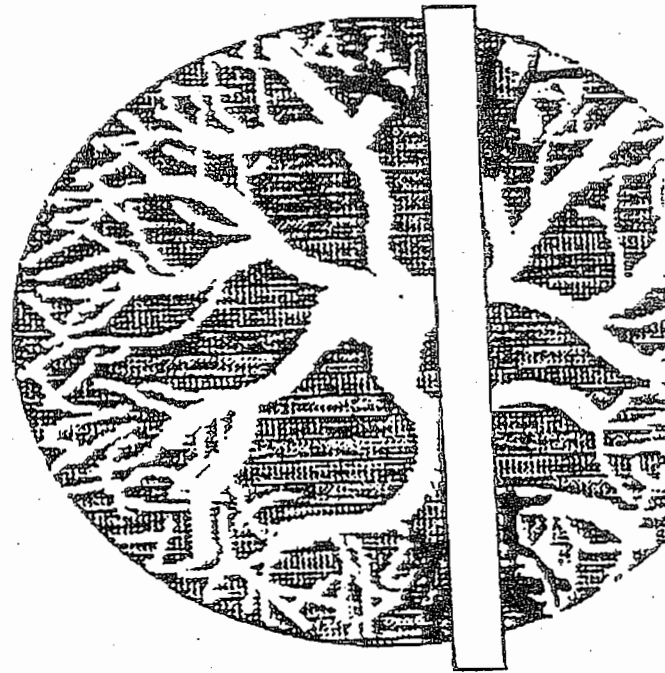
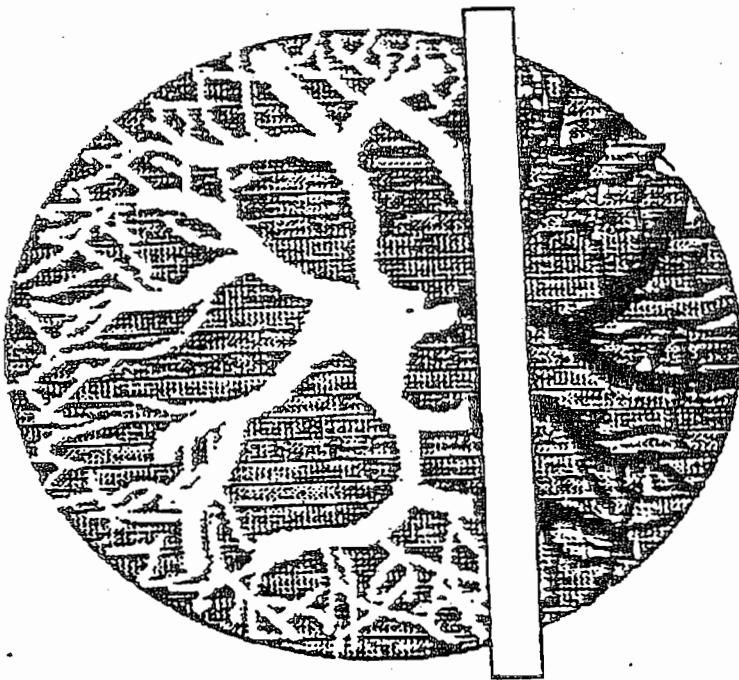


FIGURE 5 ROOT LOSS FROM TRENCHING VERSUS TUNNELING
HEAVY SHADING DENOTES AREAS OF DAMAGED ROOTS.

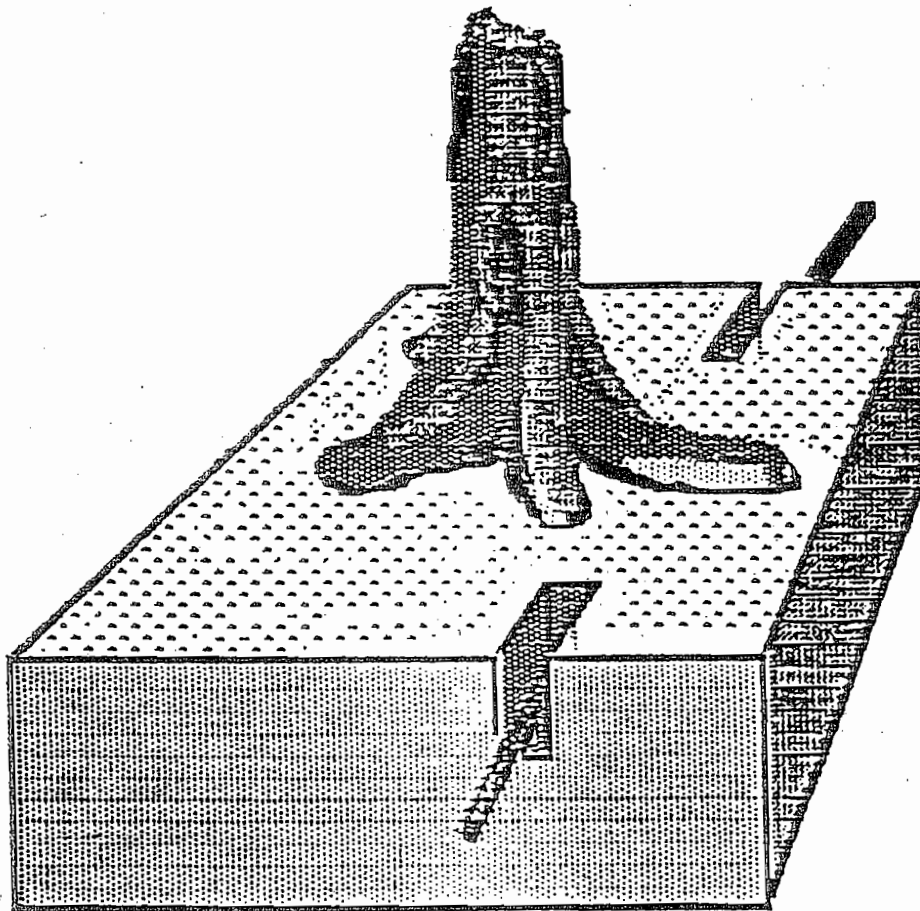


FIGURE 6 TUNNELING FOR UNDERGROUND UTILITIES

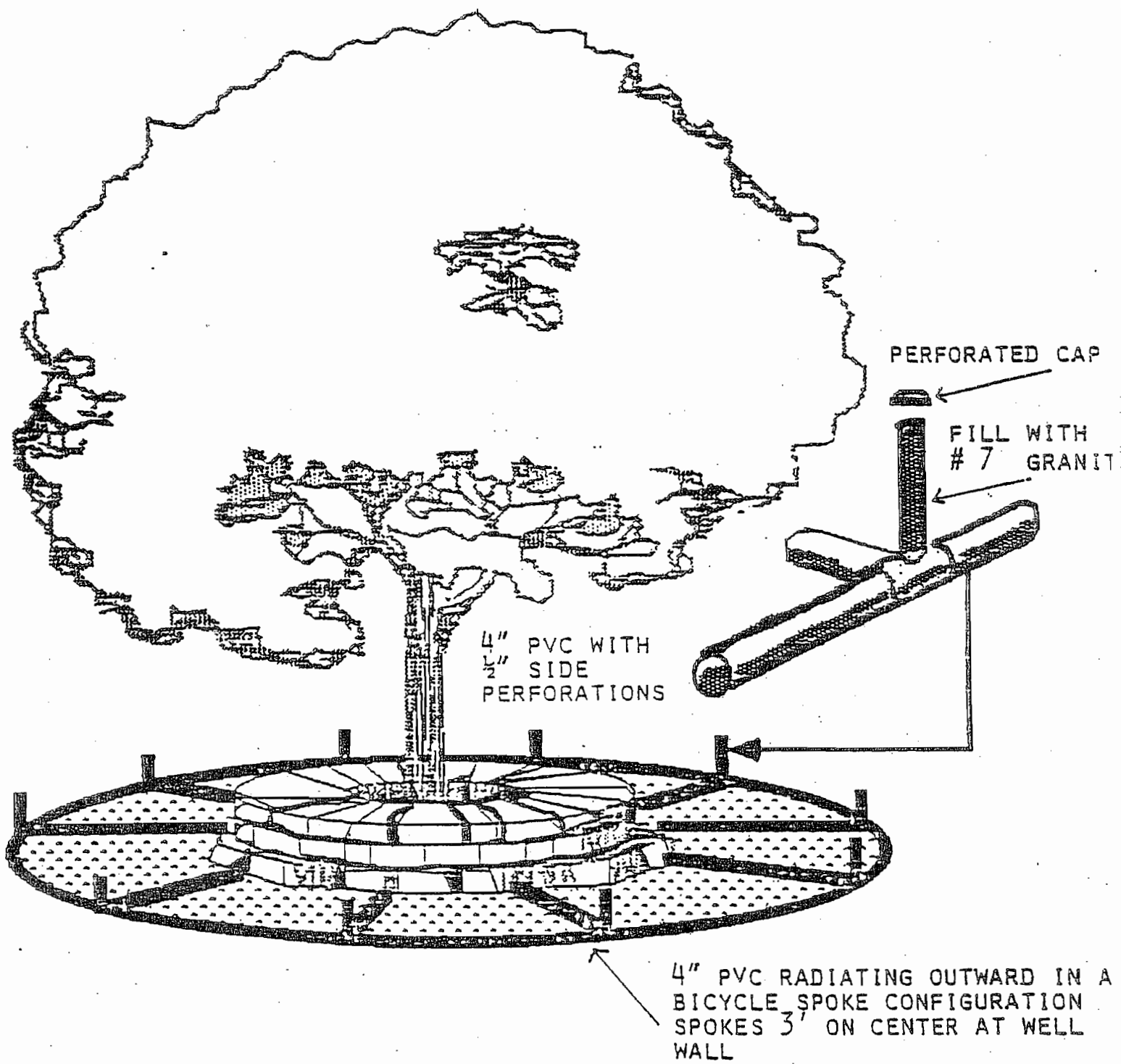


FIGURE 7 AERATION SYSTEM

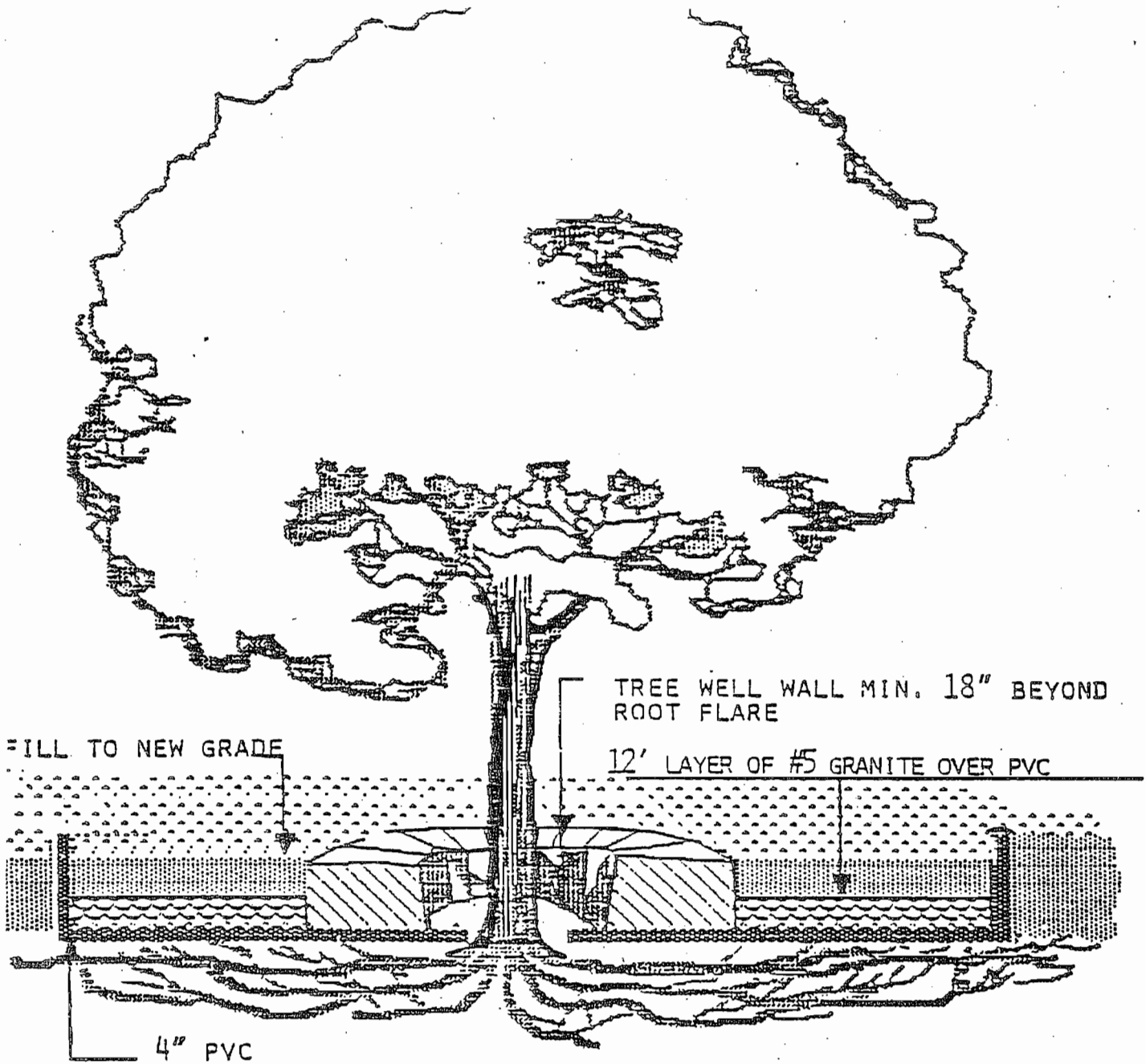


FIGURE 8 AERATION SYSTEM VERTICAL PROFILE

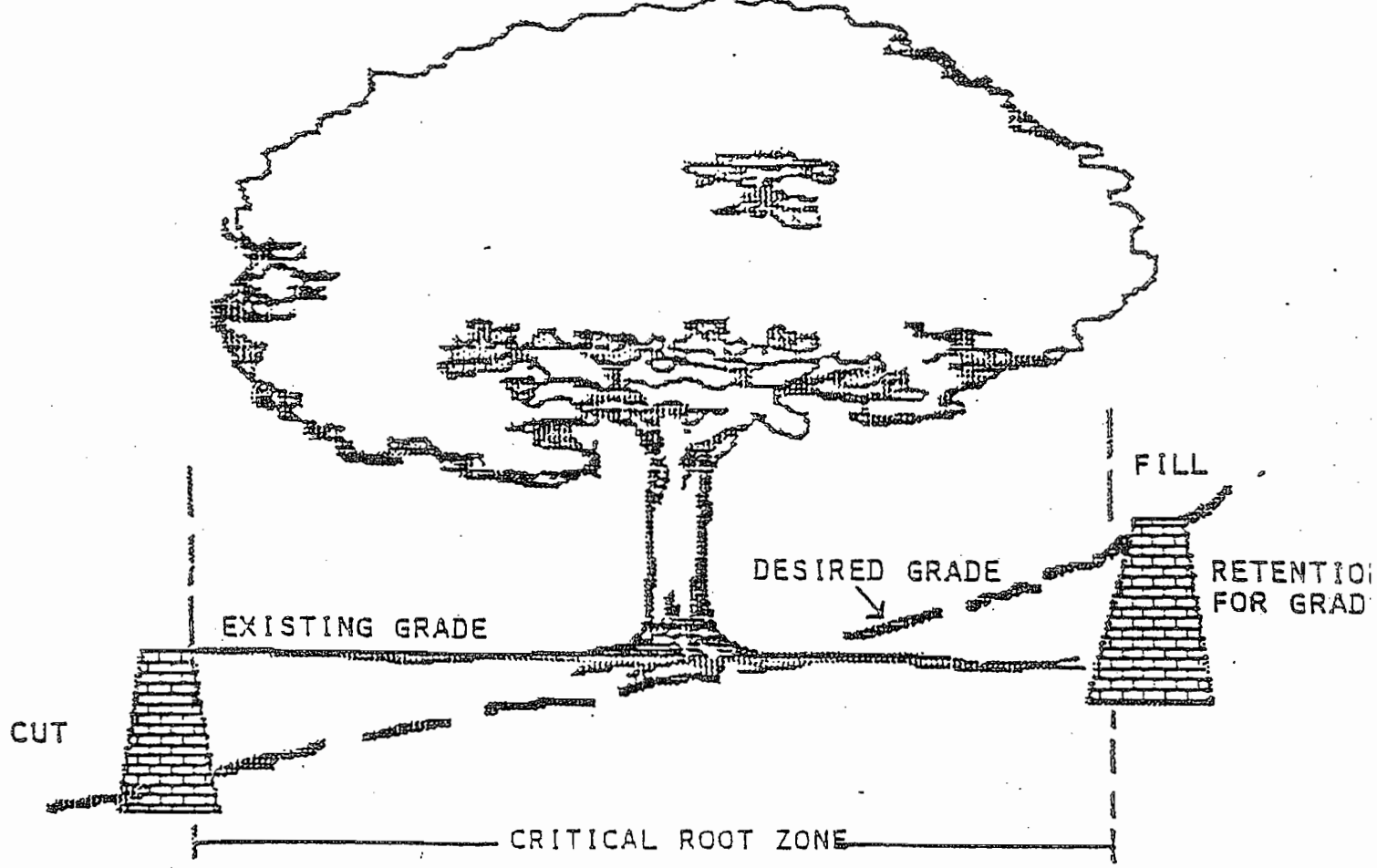
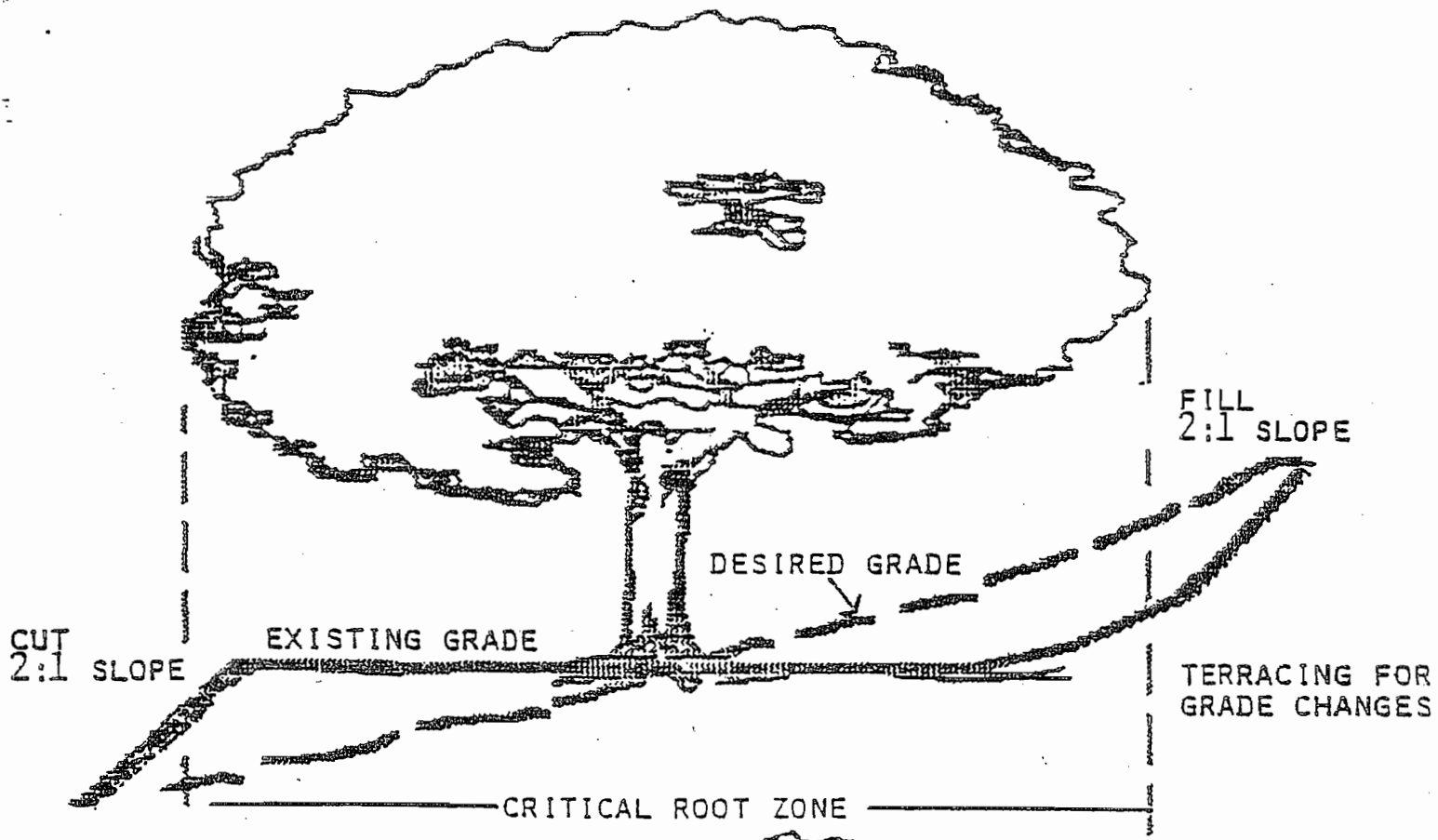


FIGURE 9 GRADE CHANGES

APPENDIX 2

ORDINANCE NO. 483

AN ORDINANCE TO PROVIDE FOR THE CREATION
OF A BAINBRIDGE TREE COMMITTEE

TO PROVIDE FOR THE MEMBERSHIP OF SUCH COMMITTEE, THE METHOD OF APPOINTMENT AND TERM OF OFFICE OF SUCH COMMITTEE; TO PROVIDE THE OFFICES OF THE COMMITTEE; TO PROVIDE THE POWERS, DUTIES AND OBLIGATIONS OF THE COMMITTEE; TO PROVIDE THAT NO PERSON SHALL CUT, TRIM, OR IN ANY WAY DAMAGE ANY TREE IN ANY STREET RIGHT OF WAY OR OTHER PUBLIC PROPERTY IN THE CITY OF BAINBRIDGE WITHOUT PRIOR WRITTEN APPROVAL BY THE COMMITTEE; TO PROVIDE FOR THE PROTECTION OF TREES ON LAND DEVELOPED FOR ANY PURPOSE OTHER THAN SINGLE OR TWO-FAMILY RESIDENTIAL USE AND COMMERCIAL TIMBERLAND; TO PROVIDE THAT ANY VIOLATION OF THIS ORDINANCE SHALL BE PUNISHABLE IN ACCORDANCE WITH THE GENERAL PENALTY PROVISIONS OF THE CITY CODE; TO PROVIDE FOR THE PENALTY OF SUCH VIOLATION AND TO PROVIDE FOR APPEAL FROM THE DECISIONS OF THE COMMITTEE.

Section 1

The City of Bainbridge is appropriately known as "Oak City". The live oak tree shall be the official tree of Bainbridge, Georgia.

It is the purpose of this ordinance to promote and protect the public health, safety and the general welfare of the Citizens of the City of Bainbridge. It is recognized that trees within the City are an economic and environmental asset to the community and that their preservation enhances the value, beauty and viability of the City of Bainbridge and its neighborhoods. Trees on public property are owned in trust by the City for benefit of all of the citizens and as a city treasure. In addition, trees offer shade, reduce air pollution, prevent run-off and erosion, and provide a natural sound barrier. Therefore, it is the intent of this ordinance to encourage the protection of trees through sound and

responsible management, and to provide minimum criteria and direction toward that end. It is not the intent of this ordinance to punish or to cause hardship to any individual, private or public company that exercises care and diligence to protect trees within the city.

Section 2

IT IS HEREBY DECLARED that the trees on private property and in publicly-owned areas within the City of Bainbridge, including particularly those in street rights of way, are both an economic and aesthetic asset to the City of Bainbridge; That the existing trees so located are in need of protection and of active measures to support their health and growth; That it is desirable that additional trees be planted and that a separate agency be specifically charged with the responsibility and duty of fostering and planting, growth, and protection of trees on private property and publicly-owned areas.

Section 3

A tree is defined as a woody plant that has a single trunk with a diameter of six (6) inches or more at six (6) inches above the ground and which will normally attain a height of at least ten (10) feet at maturity and dogwood trees with a diameter of two (2) inches at six (6) inches above the ground. The drip line of the tree is defined as a vertical line extending from the outermost portion of a tree canopy to the ground.

Section 4

There is hereby created the Bainbridge Tree Committee to

consist of five (5) members, each such member to be appointed by the Mayor from a list of at least two (2) names for each appointment submitted by the City Council of the City of Bainbridge. The committee members shall be residents of the City of Bainbridge. The chairman of the Tree Committee shall be appointed from the City Council. It is desired, but not mandatory, that one member of the committee shall be a forester or arborist. On the first committee appointed, one of the committee members shall be appointed to serve for a term of four (4) years, one for three (3) years, one for two (2) years, and one for one (1) year, respectively from the date of their appointment. Thereafter, the term of office of each committee member shall be four (4) years. Committee members may be appointed for consecutive terms. Each committee member shall serve until his successor takes office. In the event that a vacancy shall occur during the term of any member, his or her successor shall be appointed for the unexpired portion of the term in the same manner as stated above. The Tree Committee shall use "Roberts Rules of Order" in the conduct of its business. The committee shall have full power and authority to administer the provisions of this ordinance.

Section 5

Members of the committee shall serve without salary or remuneration. They shall annually elect from among their number a Vice-Chairman, a Secretary, and a Treasurer.

Section 6

The committee is authorized to accept contributions and to

expend the same for the purposes of carrying out the duties and obligations imposed by this ordinance.

Section 7

The tree committee shall cooperate with and coordinate its activities with all appropriate departments of the City of Bainbridge and all departments of the City shall cooperate with the tree committee.

Section 8

The tree committee shall take active steps to: (a) Compile a standards and specifications manual which will become a part of this ordinance upon approval by the City Council. The manual shall promulgate the rules, regulations, standards and specifications necessary to carry out the provisions of this ordinance; (b) Educate the public as to the economic and aesthetic benefits of trees to the City of Bainbridge and its citizens on both publicly-owned property and privately-owned property; (c) Promote the planting, health, and growth of trees in the City of Bainbridge; (d) Protect trees located on street rights of way and other public property in the City of Bainbridge from damage, removal, lack of sustenance or any other act or condition which might threaten the health and growth of such trees; and (e) Locate, select and identify trees which qualify as Landmark trees. A tree may qualify as a Landmark tree if it meets one or more of the following criteria: Old age, species rarity, association with a historical event or person, abnormality, or scenic enhancement. Landmark trees on private property, as well as public lands, are protected

under the provisions of this ordinance.

Section 9

The Committee may adopt by-laws and rules and regulations not in conflict herewith, shall meet regularly at least once each month, may provide such printed forms to be used as shall be necessary to govern its proceedings and to effectuate the provisions of this ordinance, and may cause such studies to be made as it deems necessary. The committee shall keep a record of its proceedings and a register of all applications made to it and its actions thereon, all of which shall be public records. Any person desiring a copy of any act or proceeding of the committee may obtain the same by paying a fee sufficient to reimburse the committee for the cost of providing such copies. A minimum fee shall be \$1.00. The City horticulturist shall serve as an advisor and ex officio member of the committee. The City horticulturist will not have a vote in a matter deliberated by the committee but shall participate freely in the discussion of the matters that are brought before the committee.

Section 10

No person shall cut, remove, trim, or fasten objects to or in any way damage any tree in the City of Bainbridge or create any condition injurious to any such tree without having first made written application for such work to the Tree Committee and having obtained advanced written permission from the Committee. Such application shall be filed with the City Building Official. The Committee shall act upon any application as soon as reasonably possible but no later than 30 (thirty) days from receipt of the

application. The Committee may at its discretion hold public hearings on any application and may approve part of an application or may approve an application upon such terms and conditions as the Tree Committee may fix. In considering any application before it, the Tree Committee shall base its decision upon the standards and specifications provided in the manual compiled by the Tree Committee and approved by the City Council in accordance with the provisions of Section 8 hereof.

Section 11

No permit shall be issued to cut, remove, trim, fasten objects to or in any way damage any tree unless one of the following conditions exists:

- a. The tree is located at the approximate proposed site to construct a building, or street right-of-way, or proposed driveway area or proposed parking area of any property on which a structure or improvement is to be placed, which tree unreasonably restricts the permitted use of the property; or
- b. The tree is diseased, injured beyond restoration, in danger of falling, so close to existing structures as to endanger them, interferes with utility services, or creates unsafe visual clearances.

The applicant, at the discretion of the committee, may be required to replace any tree being removed with a suitable replacement tree elsewhere on the site.

All permits expire one year from the date of issuance. The committee shall collect a fee for these permits in accordance with a fee schedule adopted by the committee and approved by the City Council, said fee schedule shall become a part of this ordinance when approved by the City Council.

In new subdivisions or when the development of commercial property occurs, the applicant shall be required to submit to the committee a site plan which will show (a) the general location of all existing trees, and (b) general area from which trees are to be removed and the general area where trees will be retained. When the committee denies a site plan, the committee shall meet with the developer in an attempt to reach an amicable compromise. Trees outside the approximate proposed site to construct a building, driveway or parking area, are not to be removed unless the owner/developer documents an economic hardship if such trees were to be preserved. An economic hardship is defined in the manual compiled by the committee and approved by the City Council in accordance with Section 8 hereof. Trees which are retained and the drip line of such trees shall be adequately protected from damage during and after any building, paving, renovation, or razing operation. Parking area landscaping shall conform to section 6.03 of the zoning ordinance.

If any tree or part of a tree on private property shall be determined by the committee to be a public nuisance, the owner or manager of the property where the nuisance tree is located can be required to remedy the condition. A nuisance tree is defined as any tree which obscures sight distances and creates a traffic hazard or which endangers the life, health, safety or property of others. Upon the failure of the owner or manager of the property to remove the tree, where required to do so by the committee, the committee is authorized to proceed under the existing law and

ordinance to cause said nuisance to be abated.

Section 12

For the purpose of trimming or removing trees under or in close proximity to existing lines, public utility companies shall not be required to obtain a permit under the ordinance for each project, but to the contrary shall be granted an annual license for such purposes upon payment of a fee as prescribed by the committee and approved by the Mayor and Council. For all other purposes, public utility companies shall comply with the ordinance.

In emergency situations, if a governmental body or public utility shall certify to the committee that it has need to trim, cut or remove trees and that it is, or may become, reasonably necessary to do so without delay to prevent a public hazard or to provide efficient or economical service to the public, then such certification shall be conclusive evidence for the approval of such application, and the Chairman of the Committee is authorized to approve the same without the necessity of a meeting of the full committee. In the event of an acute emergency in which life, health, property or utility service is in immediate danger, the requirement for approval shall be waived.

Section 13

Any person aggrieved by any decision of any officer or agent of the committee to whom its duties are delegated, or of any decision of the committee, may appeal said decision to the Mayor and City Council of the City of Bainbridge under such rules and regulations as would apply in appealing a matter from the City of

Bainbridge Planning Commission. The decision of the Mayor and City Council shall be final.

Section 14 - Exceptions

This ordinance shall not apply to the following trees:

- (a) Trees located on any property zoned and/or used for single or two-family housing except where a tree has been designated a Landmark tree, and trees located on property used for a licensed nursery or garden center.
- * (b) Dead, damaged, or diseased trees upon certification by the City horticulturist or the committee.
- (c) Trees which, for whatever reason, become a hazard to the public as determined by the committee.
- (d) Trees which have been damaged or destroyed as a result of a natural disaster and have to be removed to protect the public.
- (e) Trees located on managed commercial timberland, provided however, clear-cutting of commercial timber shall require a permit.

Section 15

No other permits, license or certificates shall be issued until this ordinance has been complied with.

Section 16

Any person, firm, or corporation violating any provision of this ordinance shall be punished as provided in the City Code of the City of Bainbridge. Each tree shall be considered a separate offense.

Section 17

Should any section or provision of this ordinance be declared invalid or unconstitutional by any court of competent jurisdiction, such declaration shall not affect the validity of the ordinance as a whole or any part thereof which is not specifically declared to

be invalid or unconstitutional.

Section 18

All ordinances, parts of ordinances, or regulations in conflict herewith are hereby repealed.

Section 19

This ordinance shall take effect from and after its passage and posting as required by law.

ORDAINED this 7th day of August, 1990.

CITY OF BAINBRIDGE, GEORGIA

By: BK Reynolds
B. K. REYNOLDS, Mayor

Attest: William H. Lanier
WILLIAM H. LANIER, Clerk

CONSIDERATION OF TREE ORDINANCE MODIFICATIONS

Alderman Daniel reported that the Tree Committee was in agreement with the modifications to the fee schedule enumerated in Section VIII of the tree ordinance. After a minor discussion, a motion was made by Alderman Sweet and seconded by Alderman Daniel approving the modifications to the fee schedule. The motion carried unanimously. The modifications are as follows:

1. One acre or less, inspection fee - \$25.00
Re-inspection when final inspection failed - \$10.00
3. From one to three acres - \$50.00 with re-inspection fee of \$20.00
4. From three to five acres - \$75.00 with a re-inspection fee of \$30.00
5. From five to nine acres - \$100.00 with a re-inspection fee of \$40.00

CONSIDERATION OF INVITATION TO PARTICIPATE IN GMA ACTIVITIES

Mayor Reynolds reported that the City had been given an opportunity by the GMA to participate in an event planned for Monday evening, June 26, 1995 at the Civic Center in conjunction with the GMA Convention. According to Mayor Reynolds, the event



**CITY OF BAINBRIDGE
BUILDING DEPARTMENT**
229/248-2000 (Phone) 229/248-2008 (Fax)

TREE REMOVAL APPLICATION

APPLICANT _____

MAILING ADDRESS _____

TELEPHONE _____ FAX NUMBER _____

LOCATION OF PROPERTY _____

ACREAGE _____ ZONING OF PROPERTY _____

NUMBER OF TREES TO BE REMOVED _____

TYPE OF TREES TO BE REMOVED _____

WHY DO THESE TREES NEED TO BE REMOVED? _____

Signature of Applicant

Date _____

Fee \$ _____

The Tree Committee meets on the fourth Tuesday of each month in the City Hall Conference Room at 5:30 pm

(Tree Committee to complete information on reverse side)

ACTION OF THE TREE COMMITTEE

DATE OF MEETING _____

COMMENTS _____

MEMBERS PRESENT:

RECORDED BY:

FURTHER ACTION

DATE OF INSPECTION _____

COMMENTS _____

SIGNATURE

BAINBRIDGE TREE COMMITTEE APPLICATION SPECIFICATIONS



Note: This is not meant to be a replacement for the City of Bainbridge Tree Ordinance but a general guide for presentations to the tree committee. Please refer to the actual tree ordinance in its entirety for specific requirements.

The policy of the Bainbridge Tree Committee shall be one of cooperation with the public and private property owners, city departments, public utilities, and appropriate non-profit organizations at all times.

Outline for application for tree removal or trimming

1) Acquire an application from City Hall and fill out in full and return with the following:

a) appropriate fee

b) The application should have a site plan reduced to a maximum size of 8 1/2 x 14. The plan should depict the general location of all existing trees and the general area from which trees are to be removed and where trees are to be retained. The plan should show the proposed building, drives, and other items that necessitate the removal of trees. (Sample attached)

c) A protection plan that incorporates protection of trees during construction should also be included. A landscape plan of the proposed site is also required. (Sample protection methods attached- please see full ordinance manual for other options)

2) The completed application with fee is due to City Hall by noon the Thursday before the committee meets on the 4th Tuesday. This deadline is meant to give the committee members a chance to visit the site and review the application before the meeting. All applicants will have a decision within 35 days.

3) The trees to be removed should also be **marked with survey tape on site by noon on Thursday prior to the meeting.**





CITY OF BAINBRIDGE
BUILDING DEPARTMENT
229/248-2000 (Phone) 229/248-2008 (Fax)

APPLICATION FOR TREE TRIMMING/PRUNING

APPLICANT _____

MAILING ADDRESS _____

TELEPHONE _____ FAX NUMBER _____

LOCATION OF PROPERTY _____

ACREAGE _____ ZONING OF PROPERTY _____

NUMBER OF TREES TO BE TRIMMED _____

TYPE OF TREES TO BE TRIMMED/PRUNED _____

WHY DO THESE TREES NEED TO BE TRIMMED/PRUNED? _____

Signature of Applicant Date _____

Fee \$ _____

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ACTION OF THE TREE COMMITTEE

DATE OF MEETING _____

COMMENTS _____

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